

GENERAL NOTES

- 1) COPYRIGHT: All plans, designs, and concepts shown in these drawings are the exclusive property of BHH Partners, Planners and Architects, AIA/A/P/C, and shall not be used, disclosed, or reproduced for any purpose whatsoever without the Architect's written permission.
- 2) CODES: This project is governed by the International Building Code, 2006 Edition as adopted by Colorado Department of Labor and Employment, Division of Oil and Public Safety. Code compliance is mandatory. The drawings and specifications shall not permit work that does not conform to these codes. The General Contractor and Subcontractors shall be responsible for satisfying all applicable codes and obtaining all permits and required approvals. Building areas are shown for code purposes only and shall be recalculated for any other purpose.
- 3) FIELD VERIFICATION: Verify all dimensions, conditions, and utility locations on the job site prior to beginning any work or ordering any materials. Notify Architect of any conflicts or discrepancies in the drawings immediately.
- 4) DIMENSIONS: Written dimensions always take precedence over scaled dimensions. DO NOT SCALE DRAWINGS. Verify all dimensions shown prior to beginning any work and notify Architect of any conflicts or discrepancies for interpretation or clarification. Plan dimensions are to the face of framing members. Face of wood framing or face of concrete walls unless otherwise noted. Section or elevation dimensions are to top of concrete, top of plywood, or top of wall plates or beams unless otherwise noted.
- 5) DISCREPANCIES: The Owner has requested the Architect to provide limited architectural and engineering services. In the event additional details or guidance is needed by the Contractor for construction of any aspect of this project, he shall immediately notify the Architect. Failure to give timely notice shall relieve the Architect of responsibility. Do not proceed in areas of discrepancy until all such discrepancies have been fully resolved with written direction from the Architect.
- 6) DUTY OF COOPERATION: Release of these plans contemplates further cooperation among the Owner, his Contractor, and the Architect. Design and construction are complex. Although the Architect and his Consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect, and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the Architect. Failure to notify the Architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the Architect shall relieve the Architect from responsibility for all consequences.
- 7) CHANGES TO THE WORK: Any items described herein that impact project budget or time shall be requested from the Contractor via a written change order request prior to such work. Performance of such work without approval by change order indicates General Contractor's acknowledgment of no increase in contract sum or time. Changes from the plans or specifications made without consent of the Architect are unauthorized and shall relieve the Architect of responsibility for any and all consequences resulting from such changes.
- 8) WORKMANSHIP: It is the intent and meaning of these drawings that the Contractor and each Subcontractor provide all labor, materials, transportation, supplies, equipment, etc., to obtain a complete job within the recognized standards of the industry.
- 9) SUBSTITUTIONS: Substitution of "equal" products will be acceptable with Architect's written approval. See specifications.
- 10) CONSTRUCTION SAFETY: These drawings do not include the necessary components for construction safety. The General Contractor shall provide for the safety care of utilities and adjacent properties during construction, and shall comply with state and federal safety regulations.
- 11) EXCAVATION PROCEDURES: Upon completion of any excavation, the Owner shall retain a soils engineer to inspect the subsurface conditions in order to determine the adequacy of foundation design. See specifications. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER.
- 12) FIELD CUTTING OF STRUCTURAL MEMBERS: The General Contractor and Subcontractors shall field coordinate and obtain approval from Architect/Engineer before any cutting, notching or drilling of any cast-in-place concrete, steel framing, or any other structural elements which may affect the structural integrity of the building. When it is necessary to bore studs, joists or rafters for electrical or plumbing runs, the holes shall not be greater than 40% of the member depth in load bearing conditions, and not greater than 60% of the member depth in non-load bearing conditions. Holes bored in joists or rafters shall not be within 2 inches of the top or bottom and their diameter shall not exceed 1/3 the depth of the member. Refer to 2006 International Building Code, (Section 2308) manufacturer's or supplier's instructions, and structural drawings for additional requirements.
- 13) WEATHER CONDITIONS: The Owner has been advised that due to harsh winter conditions, roof and deck surfaces must be maintained reasonably free of ice and snow to ensure minimal problems with these surfaces. All roofing, roofing membranes, and waterproofing shall be approved in writing by product manufacturer (ULR, Grace for bitumens, etc.) prior to proceeding with any work. Failure to provide these written approvals removes all responsibility for the work from the Architect.
- 14) BUILDING AREA: Building areas are shown for code purposes only and shall be recalculated for any other use.
- 15) PROJECT STAKING: The general contractor shall verify all existing grades and stake all building corners and driveway location for Owner/Architect and Design Review Board approval prior to beginning any site clearing.
- 16) SITE DISTURBANCE: It is the responsibility of the contractor to protect the existing trees to remain and adjacent properties from damage during construction. Provide protective fencing throughout construction.
- 17) PROJECT GRADES: The general contractor shall check and verify all grades including paved area slopes prior to pouring any foundations. Survey work should be verified in detail. See numbers 5 and 6.
- 18) ADA GENERAL NOTE DISCLAIMER: BHH Partners indicates that, in its professional opinion, the attached design conforms to the regulations published July 26, 1991 under all Title III of the Americans with Disabilities Act. It does not represent, warrant, guarantee or otherwise indicate to the client that these documents will fully comply with interpretations of ADA requirements by regulatory bodies or court decisions. The ADA is not a building code, and therefore will be enforced not in strict compliance with implementation regulations, but in keeping with the intent of the Act to eliminate discrimination based on disabilities as defined in the Act.
- 19) REMODELING: The Owner has been advised that since this work involves remodeling existing conditions that are concealed and cannot be examined by the Architect without damage to the existing building, the details and methods of repair may need to be adjusted to incorporate additional items of work that shall notify the Architect when such conditions are encountered. A reasonable change in the scope of the work will then be negotiated.
- 20) EXTERIOR MATERIAL MOCK UP: The General Contractor shall provide a mock up of all exterior materials for review by the Owner and Architect. This mock up shall be provided and signed off in writing prior to any exterior site or exterior finish work. The sample shall include fascia, trim, window cladding and all other exterior finishes including a 3'-0"x3'-0" (min) sample of exterior stonework if applicable. This mock up shall be retained on site until the final punch.
- 21) OWNER HOLD INDEMNITY: The Architect shall perform its services in accordance with that degree of skill and care ordinarily exercised by similarly situated members of Architect's profession involved in the design of similar projects in the same locale as the Project. It is understood by the parties that the existing or constructed building may, as a result of post-construction use, maintenance, operation or occupation, contain or be caused to contain mold substances which can present health hazards and result in bodily injury, property damage and/or necessary remedial measures and costs. Owner agrees to release, indemnify and hold Architect harmless from and against all claims, costs, liabilities and damages, including reasonable attorneys' fees and costs, arising in any way from the existence of mold as a result of the use, maintenance, operation or occupation of the completed project.

CODE DATA

This study was performed using the 2006 International Building Code (IBC). The following table has been compiled in square feet for code purposes only per the IBC definition and should be recalculated for all other purposes. CMC Renovation plans dated 2/02 were used for reference.

A. BUILDING AREA:	
Basement Floor Level	5,200 s.f. (existing)
First Floor Level	5,200 s.f. (existing)
Classroom Addition	116 s.f. (new)
Second Floor Level	14,000 s.f. (existing)
Total	25,716 s.f.

B. OCCUPANCY GROUP (Chapter 3):	
Classroom	E (Educational)

C. OCCUPANT LOAD (Table 1004.11):	
Basement Floor Level	
Classrooms	2,619 s.f./20 load factor = 131
Offices	3,581 s.f./100 load factor = 36
Mech/Storage	3,581 s.f./300 load factor = 12
First Floor Level	
Classrooms	1,040 s.f./20 load factor = 52
New Classroom	644 s.f./20 load factor = 32
Offices	2,175 s.f./100 load factor = 22
Mech/Storage	2,619 s.f./300 load factor = 9
Second Floor Level	
Classrooms	2,561 s.f./20 load factor = 128
Mech/Storage	1,439 s.f./300 load factor = 5
Total	312 occupants

D. TYPE OF CONSTRUCTION (Table 601 and 602):	
Classified as Type "V-A"	

E. ALLOWABLE FLOOR AREA (Table 503):	
E Occupancy, Type "V-A"	ALLOWED 14,000 s.f. PROPOSED 14,400 s.f. (existing) 116 s.f. (new)

F. BUILDING HEIGHT (Table 503):	
E Occupancy, Type "V-A" 2 Story/10' Height	ALLOWED 2 Story/30' Height (existing) 1 Story/16' Height (new)

Note: Allowable height increase due to automatic sprinkler system (504.2).

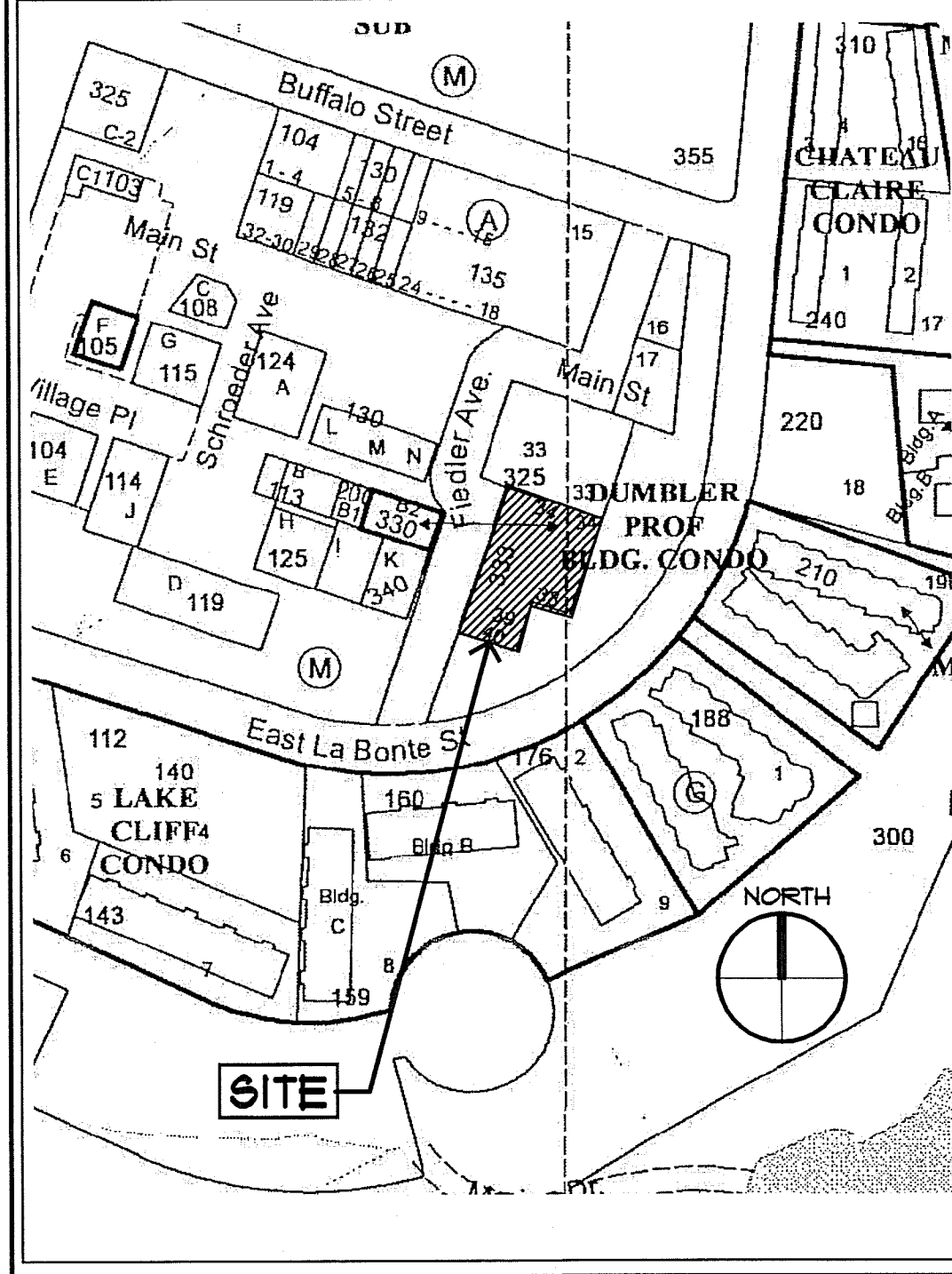
PROJECT NOTES

1. All remaining items shall be cleaned, patched, repaired and/or replaced as required to match new/existing conditions and/or to receive new finishes within the portion of remodeled area.
2. All new doors to have hollow metal frame per specs.
3. New exterior door #2 to be 3"x11" hollow metal per specs.
4. New interior door #4 to be 3"x11" wood per specs. Provide glass lite in door to match existing.
5. New interior door #3 to be 3"x11" wood per specs.
6. New interior door #4 & #5 to be pair 2"x11" wood per specs.
7. New interior window to be 2"x8" hollow metal frames with safety glazing per specs. Location of intermediate horizontal mullion to match existing windows.
8. All new gypsum board walls to be painted. Repair existing gypsum board walls in the vestibule.
9. New Urinals: Restroom to be handicap accessible. Toilet accessories to be provided per specs and installed per code (see Barrier Free Requirements sheet BF-10). Provide tile waterproof on walls minimum 4'-0" above floor.
10. Provide adjustable shelves per specs in both new closets for full height of rear wall. Coordinate exact number and spacing of shelves with Owner.
11. Provide new finish interior walls where stone veneer was removed.

SITE/BUILDING DATA

ZONING DISTRICT	- CA (CORE AREA RETAIL)
TOTAL LOT AREA	- 1.56 ACRES (± 24288 SF)
TOTAL SITE COVERAGE	- 45,916 SF. (FOOTPRINT ONLY)
EXISTING BUILDING	- 15,200 SF; NEW ADDITION - 116 SF.
TOTAL HARD SURFACE AREA	- 114,932 SF
INCLUDES WALKS, DRIVES & PARKING AREAS	
TOTAL SNOW STORAGE	- N/A (NOT AVAILABLE)
NOTE: OWNER SHALL SNOW OFF THE PROPERTY DUE TO NO SPACE AVAILABLE FOR SNOW STACK	
TOTAL PARKING SPACES	471 SPACES (ON PROPERTY) 111 SPACES (ON FIEDLER AVE.) 211 SPACES (NEW PUBLIC LOT) 152 SPACES (SU PUBLIC LOT)

VICINITY MAP



LEGAL DESCRIPTION

LOTS 34-40A, CENTRAL BUSINESS DISTRICT, NEW TOWN OF DILLON, TOWN OF DILLON, SUMMIT COUNTY, COLORADO

SHEET INDEX

T 1.0	TITLE SHEET
SP 1.0	NEW SITE PLAN
SP 1.1	EXISTING CONDITIONS SITE PLAN
A 1.0	FLOOR PLANS/ ROOF PLAN
A 2.0	EXTERIOR ELEVATIONS/ WALL SECTION
A 3.0	EXISTING CONDITIONS PICTURES
A 4.0	SPECIFICATIONS
A 4.1	SPECIFICATIONS
BF 1.0	BARRIER FREE REQUIREMENTS
S 1	FOUNDATION AND FRAMING PLAN
S 2	GENERAL NOTES AND FOUNDATION DETAILS
S 3	FRAMING DETAILS
M 1.0	MECHANICAL SCHEDULES AND NOTES
M 2.0	MECHANICAL FLOOR PLAN
F 1.0	MAIN LEVEL PLUMBING PLAN
E 1.0	ELECTRICAL SCHEDULES AND NOTES
E 2.0	ELECTRICAL POWER & LIGHTING PLAN

OWNER:	ARCHITECT:	SURVEYOR:	STRUCT. ENGINEER:	M/P/E ENGINEER:	CONTRACTOR:
COLORADO MOUNTAIN COLLEGE 831 GRAND AVENUE GLENWOOD SPRINGS, CO 81601 (970) 941-8406 (970) 941-8324 - FAX	BHH PARTNERS 831 GRAND AVENUE P. O. BOX 215 SILVERTHORNE, CO 80498 (970) 513-1000 (970) 513-0155 - FAX	RANGE WEST ENGINEERS/SURVEYORS P.O. BOX 589 SILVERTHORNE, CO 80498 (970) 468-6281 (970) 668-3765	RWG ENGINEERS P.O. BOX 4058 FRISCO, CO 80443 (970) 668-4530 (970) 668-4589 - FAX	DMCE ENGINEERING DENIS MILLER 8731 W. 64TH AVENUE LAKEWOOD, CO 80214 (303) 421-3208 (303) 421-3208 - FAX	

REVISIONS:

JOB NO: 60815
DATE: 10/03/09
DRAWN BY: KJones
CHECKED BY: JUESTHOFF

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ISSUED FOR CONSTRUCTION:
10/03/2009

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DILLON CAMPUS ADDITION
COLORADO MOUNTAIN COLLEGE
 333 FIEDLER AVE, DILLON, COLORADO

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SHEET NUMBER:

T-1.0
TITLE SHEET

OF: 8