

**GENERAL NOTES**

- THE GENERAL CONTRACTOR SHALL PERFORM ALL REQUIRED WORK, UNLESS OTHERWISE NOTED. ALL REFERENCES TO THE CONTRACTOR INCLUDE THE GENERAL CONTRACTOR AND ITS SUBCONTRACTORS; THEY SHALL BE ONE AND THE SAME.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL FIELD DIMENSIONS AND CONDITIONS AS THEY RELATE TO THE DRAWINGS AND SHALL BE RESPONSIBLE FOR SAME. IN CASE OF ANY DISCREPANCY, THE CONTRACTOR SHALL NOTIFY CATERALL DESIGN OFFICE IMMEDIATELY PRIOR TO PROCEEDING WITH CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT INSTALLATION METHODS CONFORM TO ALL BUILDING CODE REQUIREMENTS. THE MATERIALS SPECIFIED ARE INTENDED TO MEET CODE REQUIREMENTS; ANY DISCREPANCY BETWEEN THE CONSTRUCTION DOCUMENTS AND CODE REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF CATERALL DESIGN OFFICE IMMEDIATELY BY THE CONTRACTOR, PRIOR TO PROCEEDING WITH THE SPECIFIED WORK.
- ALL PARTITIONS ARE DIMENSIONED FINISH TO FINISH, UNLESS OTHERWISE NOTED.
- ALL PARTITIONS ARE TO BE CHALKED-LINED FOR APPROVAL BY CATERALL DESIGN OFFICE PRIOR TO THE ERECTION OF FRAMING.
- ALL EXISTING PARTITIONS, FLOORS, AND CEILING SHALL BE PATCHED OR REPAIRED AS REQUIRED. ALL REPAIRED SURFACES SHALL BE EQUAL TO NEW, UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL ADVISE CATERALL DESIGN OFFICE OF ANY EXISTING CONSTRUCTION WHICH IS NOT LEVEL AND PLUMB (WITHIN INDUSTRY STANDARD) PRIOR TO THE START OF CONSTRUCTION.
- UNLESS OTHERWISE NOTED, DO NOT SCALE DRAWINGS; DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE DETAILS.
- THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE BUILDING MANAGER SPECIFIC TENANT KEYING REQUIREMENTS FOR ALL LOCKSETS INSTALLED BY THE CONTRACTOR. THE CONTRACTOR SHALL PROVIDE BUILDING STANDARD KEYS/KEYS ON ALL LOCKING HARDWARE.
- THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY; WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL.
- NO SUBSTITUTIONS OF SPECIFIED MATERIALS SHALL BE PERMITTED WITHOUT FIRST SUBMITTING SPECIFICATIONS, SAMPLES, AND COST IMPACT TO CATERALL DESIGN OFFICE FOR REVIEW AND APPROVAL.
- THE CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES ON THE PROJECT. ANY CHANGES OR DELAYS ARISING FROM CONFLICTS BETWEEN TRADES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST TO THE TENANT/LANDLORD.
- AT THE TIME OF BID SUBMITTAL, THE CONTRACTOR SHALL ADVISE CATERALL DESIGN OFFICE IN WRITING OF ANY SPECIFIED MATERIALS OR EQUIPMENT WHICH ARE EITHER UNAVAILABLE OR WILL CAUSE A DELAY TO THE CONSTRUCTION COMPLETION SCHEDULE.
- THE CONTRACTOR SHALL VERIFY REQUIRED LOCATIONS AND INCLUDE IN BASE BID ALL RELATED COSTS FOR ALL NECESSARY ACCESS PANELS IN PARTITIONS, FLOORS OR CEILINGS. THE CONTRACTOR SHALL COORDINATE EXACT LOCATIONS WITH CATERALL DESIGN OFFICE PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL SUPPLY AND INSTALL BLOCKING AND SUPPORTS IN PARTITIONS AND CEILINGS AS REQUIRED FOR INSTALLATION OF SPECIFIED EQUIPMENT, ACCESSORIES, AND CABINETRY.
- THE CONTRACTOR SHALL SUBMIT ALL PERTINENT SHOP DRAWINGS FOR REVIEW BY CATERALL DESIGN OFFICE, ALLOWING ADEQUATE TIME FOR REVIEW AND CORRECTIVE ACTION, WITHOUT IMPACTING THE SCHEDULE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY UTILITIES (POWER, LIGHTING, WATER) TO TRUSS SIDE FOR USE BY ALL CONSTRUCTION TRADES, INCLUDING THOSE NOT SUBCONTRACTORS TO THE GENERAL CONTRACTOR.
- THE CONTRACTOR SHALL SUPPLY AND MAINTAIN CHEMICAL TOILETS FOR THE USE OF ITS EMPLOYEES AND SUBCONTRACTORS UNLESS USE OF THE BUILDING'S FACILITIES HAS BEEN AUTHORIZED BY THE BUILDING MANAGER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, CLEANING AND, IF NECESSARY, RESTORING TOILET ROOMS, JANITOR CLOSETS, ELECTRICAL TELEPHONE ROOMS, CORRIDORS, ELEVATORS, TRUCK DOCK AREA AND ANY OTHER AREAS UTILIZED. CONTRACTOR SHALL SUBMIT A PLAN FOR UTILIZING AND PROTECTING THESE AREAS DURING CONSTRUCTION.
- ALL CONTRACTORS SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF ALL TRASH AND DEBRIS, AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE. FROM DAMAGE, SPRAY, PAINT, ETC. ALL FIXTURES, EQUIPMENT, GLAZING, SILLS, FLOORS, WALLS, ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY.
- THE CONTRACTOR SHALL UTILIZE ONLY THE TRASH DUMPSTER DESIGNATED FOR THE PROJECT. THE CONTRACTOR SHALL MAINTAIN THE AREA OF THE TRASH DUMPSTER CLEAN AND FREE OF TRASH AND DEBRIS.
- WHERE REQUIRED, PROVIDE MINIMUM ADDITIONAL PARTITION THICKNESS OR FURRING FOR PLUMBING WALLS.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ROUGH PLUMBING AND FINAL HOOK-UP FOR REFRIGERATION AND APPROVAL AND SHALL SUPPLY ALL SUCH FIXTURES AND APPLIANCES UNLESS OTHERWISE NOTED.
- IN INSTANCES WHERE DRAWINGS CALL FOR ALIGNMENT OF NEW CONSTRUCTION WITH EXISTING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT SUCH ALIGNMENT WILL RESULT IN A SQUARE AND STRAIGHT CONSTRUCTION, WITHOUT BENDS OR BOWS. IF A QUESTION EXISTS, CONTRACTOR SHALL CONFIRM CONDITIONS WITH CATERALL DESIGN OFFICE.

**DOOR, FRAME AND HARDWARE SCHEDULE**

DOOR	DESCRIPTION	A	B	C	D	REMARKS
SIZE	3'-0" x 8'-0"	●	●			Solid core
	Pr: 3'-0" x 8'-0"	●				Solid core
FINISH	Wood Veneer	●	●			Match existing
FRAME	Alum. K/D	●	●			Painted
	Hollow Metal	●				Painted
GLASS	2' x 5' lite		●			See Elevation 3, CD.1
				●		3'-0" clear tempered glass sidelite in integral frame
THROAT LABEL	4 7/8"	●	●			Verify
		●				Verify

Relocate existing door assemblies from demolition where possible. New assemblies, if required, are to match existing.

HARDWARE	a	b	c	d	e	f
LATCH SET						
LOCK SET	●	●				
STOP	●	●	●			
CLOSER	●					
ASTRAGAL	●					
AUTO FLUSH BOLT	●					
RESTROOM LOCK		●				

**DOOR AND HARDWARE NOTES**

- THE MAXIMUM UNDERCUT OF ALL DOORS SHALL NOT EXCEED 1/2" ABOVE THE SURFACE OF THE FINISHED FLOOR OR THRESHOLD. ALL DOORS SHALL BE UNDERCUT ON THE JOB SITE AND SPECIFICALLY FOR INDIVIDUAL DOOR OPENINGS AND FLOOR FINISHES. THE CONTRACTOR SHALL VERIFY THE FINISHED HEIGHT OF ALL FLOOR FINISHES PRIOR TO UNDERCUTTING THE DOORS.
- HARDWARE SPECIFIED FOR INSTALLATION ON DOORS AND FRAMES WHICH REQUIRE A FIRE-RATED LABEL SHALL COMPLY WITH ALL CODE REQUIREMENTS COVERING HARDWARE TYPE AND INSTALLATION METHODS FOR RATED ASSEMBLIES.
- INSTALL DOOR CLOSERS AS SPECIFIED ON ALL FIRE-RATED DOORS.
- ALL DOORS SCHEDULED TO RECEIVE DOOR CLOSERS SHALL RECEIVE BALL BEARING HINGES.

**CONSTRUCTION LEGEND**

- Existing partition to remain
- Existing partition to be demolished
- New partition to underside constructed to underside of ceiling. See Detail 1/CD.1 Match adjacent partition
- New acoustic partition constructed to underside of ceiling grid. See Detail 2/CD.2

**POWER AND COMMUNICATIONS LEGEND**

- Wall-mounted duplex electrical outlet
- Wall-mounted separate circuit duplex electrical outlet
- Wall-mounted fourplex electrical outlet
- Floor-mounted duplex electrical outlet, flush box
- Wall-mounted electrical junction box for hardware connection to equipment
- Wall-mounted communications outlet
- Floor-mounted communications outlet

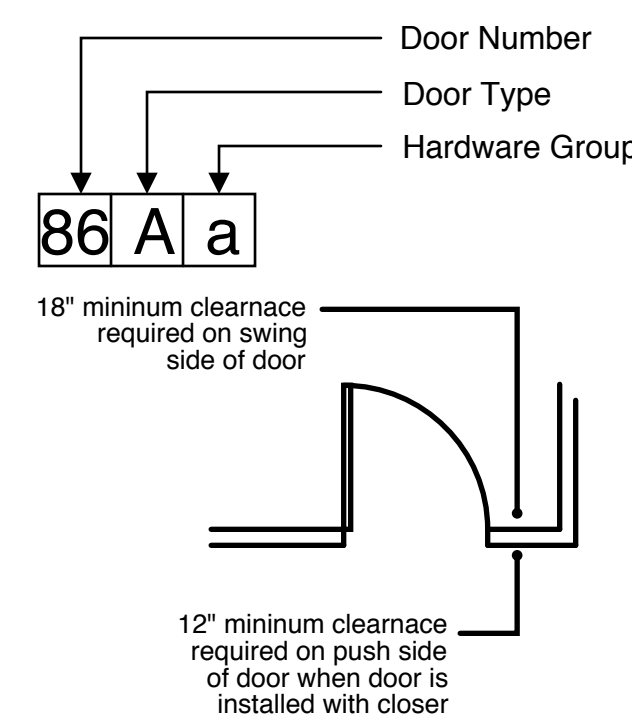
**SHEET INDEX**

- CS COVER SHEET, GENERAL NOTES
- A1.1 LOWER LEVEL DEMOLITION AND PARTITION PLANS
- A2.1 LOWER LEVEL POWER & COMMUNICATIONS AND REFLECTED CEILING PLANS
- A4.1 LOWER LEVEL FINISH PLAN
- A0.2 1ST FLOOR DEMOLITION PLAN
- A1.2 1ST FLOOR PARTITION PLAN
- A2.2 1ST FLOOR POWER & COMMUNICATIONS PLAN
- A3.2 1ST FLOOR REFLECTED CEILING PLAN
- A4.2 1ST FLOOR FINISH PLAN
- CD.1 PARTITION DETAILS, ELEVATIONS
- E.0.1 ELECTRICAL SPECIFICATIONS
- E.0.2 ELECTRICAL LEGENDS AND DETAILS
- E.1.0 LOWER LEVEL DEMOLITION AND POWER PLAN
- E.1.1 LOWER LEVEL LIGHTING PLAN
- E.2.0 1ST FLOOR ELECTRICAL DEMOLITION PLAN
- E.2.1 1ST FLOOR LIGHTING AND POWER PLANS
- M.0.1 MECHANICAL SPECIFICATIONS
- M.1.0 LOWER LEVEL MECHANICAL PLAN
- M.1.1 1ST FLOOR MECHANICAL PLAN
- P.1.0 LOWER LEVEL PLUMBING PLAN
- P.1.1 1ST FLOOR PLUMBING PLAN

**MECHANICAL, ELECTRICAL, COMMUNICATIONS AND CEILING NOTES**

- REFER TO ENGINEERING DRAWINGS FOR CIRCUITING AND EXACT SPECIFICATIONS. MECHANICAL AND ELECTRICAL ENGINEERS' DRAWINGS ARE NOT INTENDED TO SPECIFY EXACT LOCATIONS OF FIXTURES, OUTLETS OR EQUIPMENT; REFER TO CATERALL DESIGN OFFICE DRAWINGS.
- THE MECHANICAL AND ELECTRICAL DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS PRIOR TO SUBMITTAL OF BID AND AGAIN BEFORE THE INSTALLATION OF MECHANICAL AND ELECTRICAL WORK. ANY DISCREPANCY BETWEEN THE ARCHITECTURAL AND THE CONSULTANT'S DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF CATERALL DESIGN OFFICE FOR CLARIFICATION. WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT ITS OWN EXPENSE AND SHALL NOT IMPACT THE SCHEDULE.
- ALL ELECTRICAL ITEMS NOTED FOR INSTALLATION IN CABINET WORK SHALL BE SUPPLIED, INSTALLED AND COORDINATED BY THE CONTRACTOR, UNLESS NOTED OTHERWISE.
- ALL LIGHT SWITCHES SHALL BE CIRCUITED AND INSTALLED TO COMPLY WITH LOCAL CODES AND APPLICABLE STATE ENERGY REQUIREMENTS.
- UNLESS NOTED OTHERWISE, ALL COVERPLATES AND DEVICES SHALL BE BUILDING STANDARD. REFER TO EQUIPMENT SPECIFICATIONS FOR NON-STANDARD RECEPTACLES.
- UNLESS NOTED OTHERWISE, ALL STANDARD COVERPLATES, SWITCHES AND DEVICE FINISHES SHALL BE WHITE. SUBMIT SAMPLES TO CATERALL DESIGN OFFICE FOR APPROVAL.
- ALL WALL MOUNTED POWER AND COMMUNICATIONS OUTLETS SHALL BE INSTALLED VERTICALLY AT 18" A.F.F. UNLESS NOTED OTHERWISE. REFER TO ELECTRICAL LEGEND FOR SYMBOLS THAT IDENTIFY SPECIAL MOUNTING HEIGHTS. OUTLETS INSTALLED ABOVE 18" SHALL BE INSTALLED HORIZONTALLY.
- ALL WALL AND FLOOR MOUNTED COMMUNICATIONS OUTLETS SHALL RECEIVE PULL WIRES INSTALLED BY THE CONTRACTOR.
- ALL LIGHT FIXTURES SHALL BE LOCATED EXACTLY AS SHOWN ON THE PLANS. CONTRACTOR SHALL OBTAIN APPROVAL FROM CATERALL DESIGN OFFICE OF LAYOUT OF LIGHT FIXTURES PRIOR TO FINAL CONNECTIONS AND SECURING OF FIXTURES.
- SWITCHES SHALL BE INSTALLED AT 42" A.F.F. TO CENTER AND LOCATED WITHIN 6" OF DOOR JAMBS OR SIDELITES.
- ALL SWITCHES SHALL BE GANG PLATED, WHERE APPLICABLE.
- ALL WALL MOUNTED COMMUNICATIONS OUTLETS SHALL HAVE A JUNCTION BOX. THE CONTRACTOR SHALL PROVIDE COVERPLATES AT ALL ELECTRICAL OUTLETS.
- WHERE WALL MOUNTED OUTLETS ARE INDICATED SIDE BY SIDE, THE MAXIMUM SEPARATION BETWEEN SUCH OUTLETS SHALL BE 6" CENTER-TO-CENTER, UNLESS NOTED OTHERWISE.
- ALL WALL MOUNTED POWER AND COMMUNICATIONS OUTLETS SHALL BE INSTALLED EXACTLY AS DIMENSIONED OR NOTED. IF NO DIMENSIONS ARE NOTED, THE CONTRACTOR SHALL SCALE LOCATIONS FROM THE DRAWINGS AND INSTALL ACCORDINGLY. ANY DISCREPANCIES BETWEEN NOTED DIMENSIONS AND FIELD CONDITIONS SHALL BE REPORTED TO CATERALL DESIGN OFFICE IMMEDIATELY, PRIOR TO INSTALLATION.
- DO NOT INSTALL OUTLETS EITHER BACK-TO-BACK OR SIDE-BY-SIDE ON OPPOSITE SIDES OF THE SAME WALL EXCEPT WHERE SPECIFICALLY DIMENSIONED. SEPARATE ALL SUCH OUTLETS WITH ONE STUD (VERTICALLY OR HORIZONTALLY).
- ALL ELECTRICAL OUTLETS SPECIFIED FOR USE BY COMPUTER EQUIPMENT SHALL UTILIZE THE SAME CLEAN CIRCUITS. NO OTHER ELECTRICAL OUTLETS SHALL UTILIZE THESE CIRCUITS. REFER TO ELECTRICAL ENGINEER'S DRAWINGS.
- INSTALL SWITCHES AND OUTLETS FORWARD TO FACE OF FINISHED WALL, INCLUDING CABINETRY.
- SPECIFICATIONS AND ILLUSTRATIONS OF MECHANICAL AND ELECTRICAL DEVICES SPECIFIED BY THE MECHANICAL AND ELECTRICAL ENGINEERS SHALL BE SUBMITTED TO CATERALL DESIGN OFFICE FOR APPROVAL PRIOR TO PURCHASE.
- ALL EXHAUST FANS SHALL BE SILENT RUNNING AND SHALL HAVE A MINIMUM 8'-0" LONG DUCT BETWEEN THE RETURN AIR GRILLE AND THE FAN MOTOR. THE DUCT SHALL BE LINED WITH 1" THICK FIBERGLASS LINER; AN EQUIVALENT LENGTH OF GLASS FIBER FLEXIBLE DUCT IS ACCEPTABLE.
- ALL DIFFUSERS, EXHAUST FANS AND OTHER MECHANICAL DEVICES THAT PENETRATE THE CEILING SHALL BE LOCATED IN COORDINATION WITH THE LIGHTING LAYOUT.
- WHERE INDICATED, CLEAN ELECTRICAL POWER IS TO BE DISTINGUISHED BY A GRAY RECEPTACLE. SEPARATE CIRCUITS ARE TO BE DISTINGUISHED BY AN ORANGE RECEPTACLE.
- ALL SPRINKLER HEADS WITHIN ACoustICAL TILE CEILINGS SHALL BE BUILDING STANDARD SEMI-RECESSED UNLESS OTHERWISE NOTED. CENTERING IN CEILING TILES IS NOT REQUIRED.
- ALL SPRINKLER HEADS WITHIN DRYWALL CEILINGS AND SOFFITS SHALL BE CONCEALED HEADS PAINTED TO MATCH CEILING COLOR.
- ALL WORK SHALL CONFORM TO THE LATEST RULES AND REGULATIONS OF THE NATIONAL ELECTRICAL CODE (N.E.C.), TITLE 8 CODE OF INDUSTRIAL SAFETY, PERTINENT N.F.P.A. PUBLICATIONS, AND OTHER FEDERAL, STATE AND CITY AGENCIES HAVING JURISDICTION.
- ALL FIRE RATINGS OF EXISTING AND NEW CONSTRUCTION SHALL BE MAINTAINED. ALL PENETRATIONS THROUGH FIRE RATED WALLS OR FLOORS SHALL BE PROVIDED WITH CONDUIT SLEEVES AND A RE-ENTERABLE FIRE/SMOKE BARRIER MATERIAL TO MEET OR EXCEED THE RATING OF THE CONSTRUCTION. ALL EXISTING FIRE STOPPING WHICH IS REMOVED SHALL BE REPLACED.
- ALL CABLES SHALL BE LISTED AND CLEARLY IDENTIFIED FOR INSTALLATION WITHOUT CONDUIT IN CEILING PLENUMS AND IN RISERS.
- ALL WIRING SHALL BE SUPPORTED INDEPENDENTLY OF THE CEILING SYSTEM. ELECTRICAL AND MECHANICAL SUPPORTS. CABLES SHALL BE ADEQUATELY SUPPORTED WITH SUPPORTS DESIGNED FOR TYPE OF CABLE. ALL WIRING SHALL, IN GENERAL, BE CONCEALED AND SHALL FOLLOW THE BUILDING LINES.
- ALL WIRING RUNS LOCATED ADJACENT TO ELECTRICAL POWER FEEDER RUNS SHALL MAINTAIN A MINIMUM SEPARATION OF 12" FROM CONDUITS AND 24" FROM BUS DUCTS.
- ALL CONNECTORS, SPLITTERS, TAPS, AND SPLICES INSTALLED ABOVE THE CEILING SHALL BE LOCATED IN ACCESSIBLE CEILING AREAS. PROVIDE ACCESS PANELS WHERE REQUIRED FOR INSTALLATION IN NON-ACCESSIBLE AREAS.
- OUTLETS SHALL CONSIST OF A 2" x 4" x 1 1/2" DEEP BACK BOX WITH A SINGLE-GANG (OR 2-GANG, AS REQUIRED) TRIM RING AND A CONDUIT STUBBED UP TO THE NEAREST ACCESSIBLE CEILING AREA. ALL CONDUIT SHALL BE EITHER ELECTRICAL METALLIC TUBING (EMT), RIGID STEEL CONDUIT (WHERE REQUIRED BY CODE) OR FLEXIBLE ALUMINUM CONDUIT INSTALLED IN ACCORDANCE WITH LOCAL CODES.
- COVER PLATES SHALL MATCH THE COLOR OF THE COVER PLATES FOR THE DEVICES IN THE ROOM AND SHALL INCLUDE A CONNECTOR. (THE BUILDING STANDARD COLOR FOR COVER PLATES IN TYPICAL AREAS IS WHITE.) FEED-THROUGH CABLE GROMMETS WITH EXCESS CABLE COILED INSIDE OR OUTSIDE THE WALL IS NOT ACCEPTABLE.
- ALL BOXES, COVERS AND DEVICES SHALL BE SET TRUE AND SQUARE IN THE WALL AND SHALL, IN GENERAL, BE LOCATED ADJACENT TO THE POWER AND COMMUNICATIONS OUTLETS, EQUALLY SPACED FROM EACH OTHER AND MOUNTED THE SAME HEIGHT (+18" ABOVE THE FINISHED FLOOR).
- ALL CABLES WHICH ENTER OR EXIT A TENANT SUITE SHALL BE CLEARLY AND PERMANENTLY TAGGED AT BOTH ENDS AND AT POINTS OF ENTRY AND EXIT OF EACH TENANT SUITE, TO IDENTIFY TELEPHONE/F.C.A.T.V./ETC., TENANT SUITE NUMBER AND ROOM NUMBER OF OUTLET LOCATION.

**Door and Hardware Symbol:**



Symbol indicates existing door to remain

**REFLECTED CEILING LEGEND**

- Recessed 2' x 4' fluorescent fixture
  - Recessed fluorescent downlight
  - Recessed fluorescent wallwasher
  - Exit Sign
  - Electric toggle switch
- Refer to electrical engineering drawings for additional fixture and device specifications

**FINISHES**

- Curtains, draperies, hangings, and other decorative materials suspended from walls or ceilings shall meet the flame propagation performance criteria of NFPA 701 in accordance with 2006 IBC Section 806.2 or be non-combustible.

**WHEELCHAIR LIFT, EGRESS WIDTH STUDY**

Lower Level Occupant Load: 359  
Egress width required (.2" per occupant): 71.8"

Egress with provided after installation of wheelchair lift: 137"

North stair: 45"  
East stair: 48"  
South stair: 44"  
Total: 137"

**PROJECT CODE ANALYSIS**

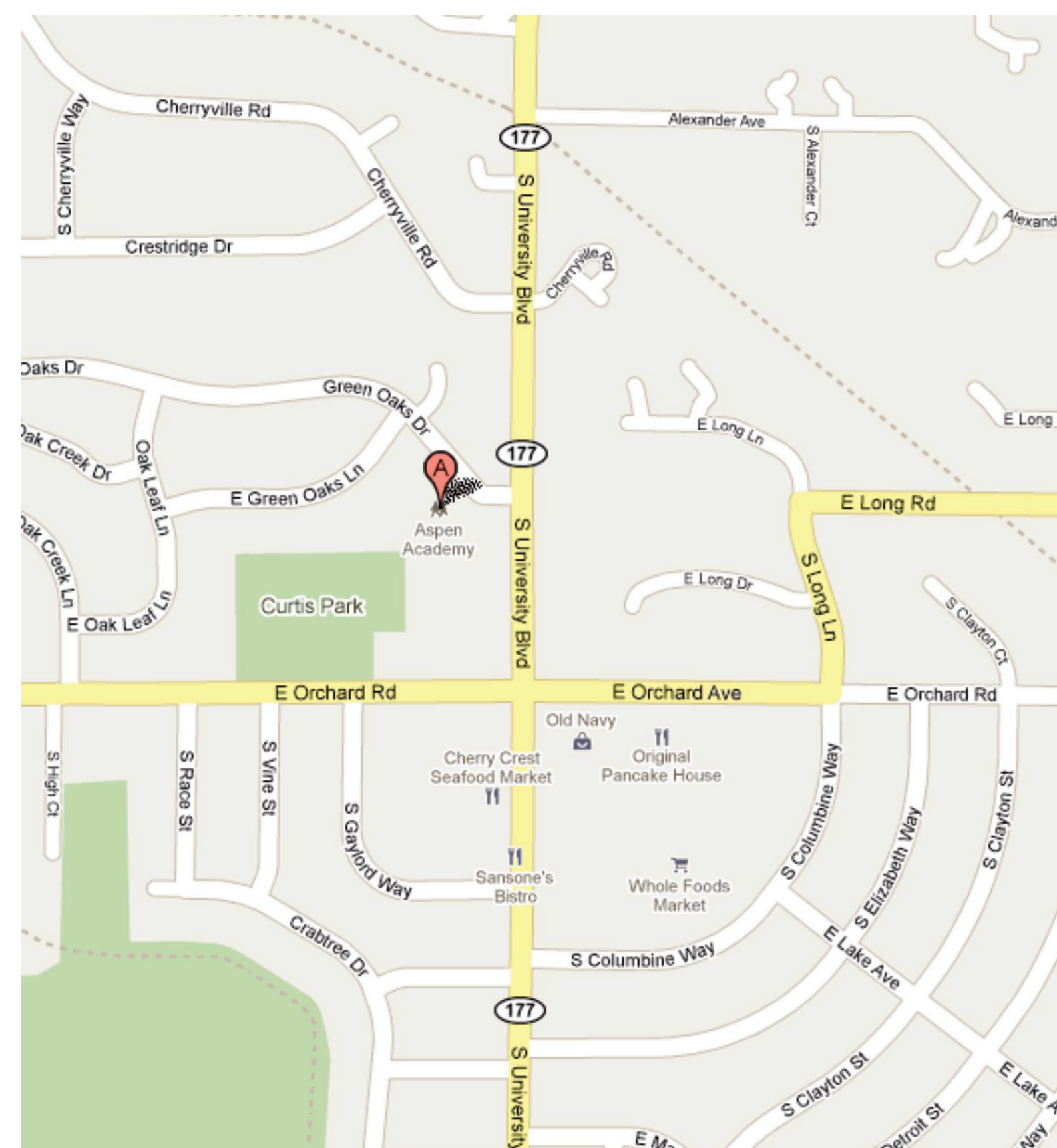
Project consists of the remodel of existing classrooms, construction of new restrooms and modification of existing restrooms, and replace of light fixtures. Storage rooms accessory to the existing gymnasium are also being modified.

Occupancy: E (Classrooms) A (Existing Gymnasium)

Area of Lower Level Classrooms: 7,170 square feet  
Occupant Load: 359 (20 sf per occupant)  
Exits Required: 2  
Exits Provided: 3

Area of 1st Floor Classrooms: 7,526 square feet  
Occupant Load: 377 (20 sf per occupant)  
Exits Required: 2  
Exits Provided: 2 (In addition, four classrooms have direct exterior exits)

No change of use or egress in Gymnasium



**PROJECT LOCATION**

**PROJECT DATA**

Address: 5869 S. University Boulevard  
Greenwood Village, CO

Codes: International Building Code, 2006  
International Mechanical Code, 2006  
International plumbing Code, 2006  
International Energy Conservation Code, 2006  
International Fire Code, 2006

Base building construction: Type III-A

Number of stories: 1 story above grade, 1 level below grade

Total building area: 84,469 square feet

Sprinkler system: Fire sprinklers to be installed in 1st Floor Project Area as part of this project; facility will be then be fully-sprinklered.

**ISSUES/REVISIONS**

Issue/Revision	Date
Issued for owner review	22 February 2010
Revised per building department comments	19 April 2010
Added wheelchair lift	17 May 2010

**COVER SHEET, GENERAL NOTES**

PROJECT DIRECTOR	Stephen Catterall
PROJECT NO.	91400
DATE	January 26, 2010
SHEET NO.	CS

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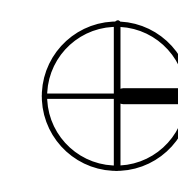
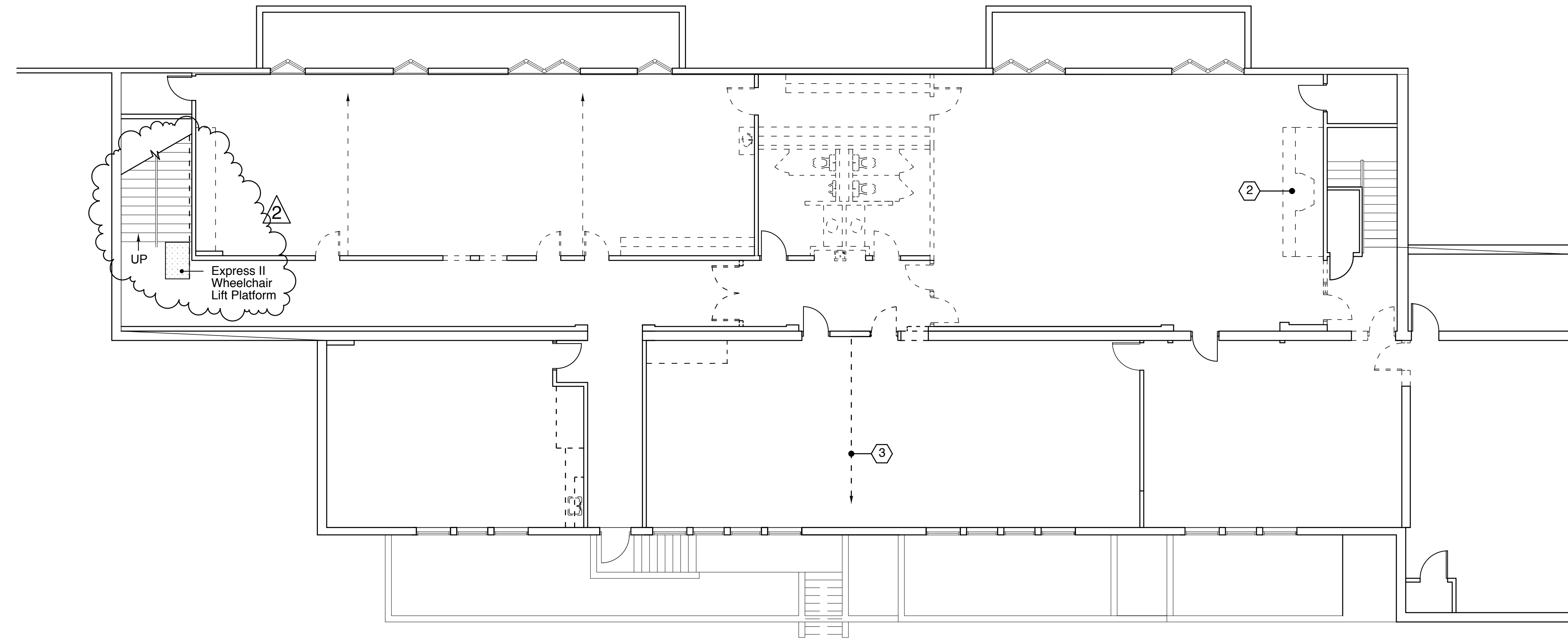
stephen@catteralldesign.com

**Aspen Academy**

5859 S. University Boulevard  
Greenwood Village, CO

## Demolition Notes

1. Demolish existing partitions, cabinets, and restrooms as shown on plan.
2. Demolish existing gas fireplace. Moss-rock to be retained by owner. Store onsite as directed.
3. Red sandstone hearth stones to be removed intact. Store onsite; to be removed from site by Catterall Design Office.
4. Demolish existing folding room divider.

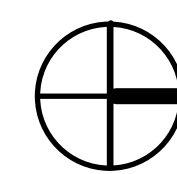
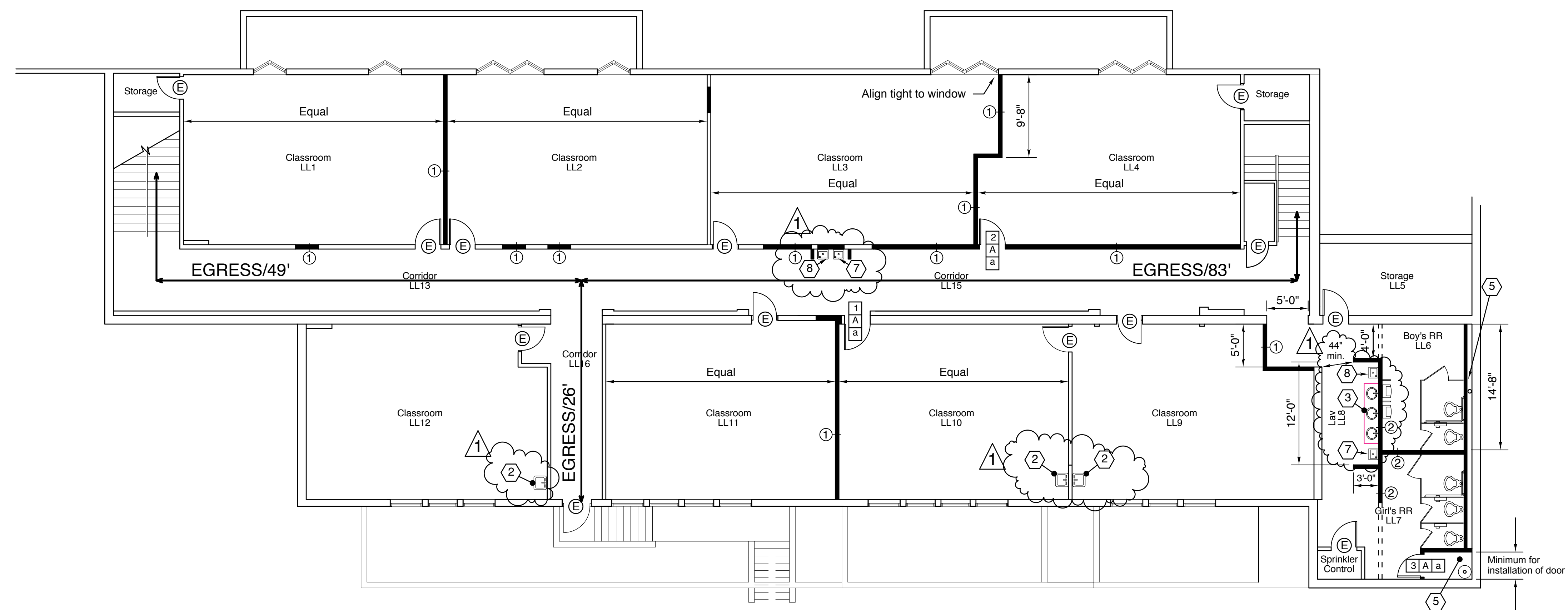


## Lower Level Demolition Plan

Scale: 1/8" = 1' - 0"

## Partition Plan Notes

1. Construct new partitions as shown on plan.
2. Provide alternate cost in add sound insulation to all Type-1 partition.
3. Furnish and install new ADA-compliant wall-hung lavs.
4. New solid surface lav counter. Coordinate with plumbing.
5. Existing sump pump to be enclosed in new closet as shown.
6. Furr wall tight to existing pipe.
7. All restroom fixtures, accessories, and toilet partitions to match most recent Aspen Academy basement remodel (South end of facility).
8. Barrier-free drinking fountain.
9. Standard drinking fountain.



## Lower Level Partition Plan

Scale: 1/8" = 1' - 0"

## Notes

1. A legible sign designating the sex shall be provided in a readily visible location near the entrance to each toilet facility. Signs shall comply with ICC A117.1.

## Aspen Academy

5859 S. University Boulevard  
Greenwood Village, CO

### ISSUES/REVISIONS

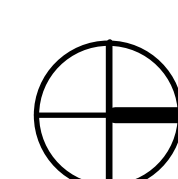
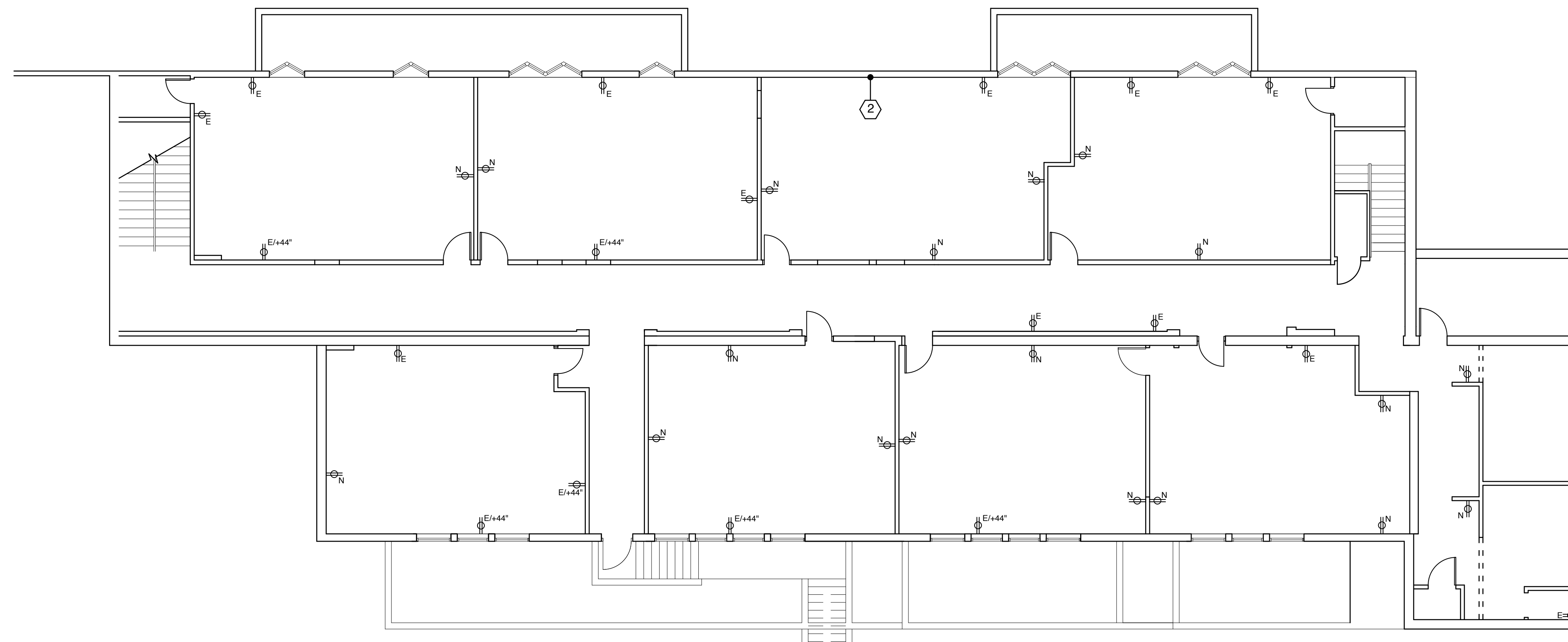
Issued for owner review	22 February 2010
Revised per preliminary code review	18 March 2010
Added wheelchair lift	17 May 2010

### LOWER LEVEL DEMOLITION PLAN LOWER LEVEL PARTITION PLAN

PROJECT DIRECTOR	Stephen Catterall
PROJECT NO.	91400
DATE	January 26, 2010
SHEET NO.	A.1.1

## Power & Communications Notes

1. Power and communications outlets shown on plan with symbol 'E' are existing to remain. Symbol 'N' indicated new outlet locations. Refer to engineered drawings for circuiting.
2. Remove existing electrical outlets at demolition kitchen cabinets. Repair wall.

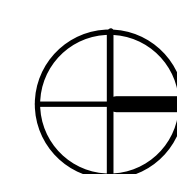
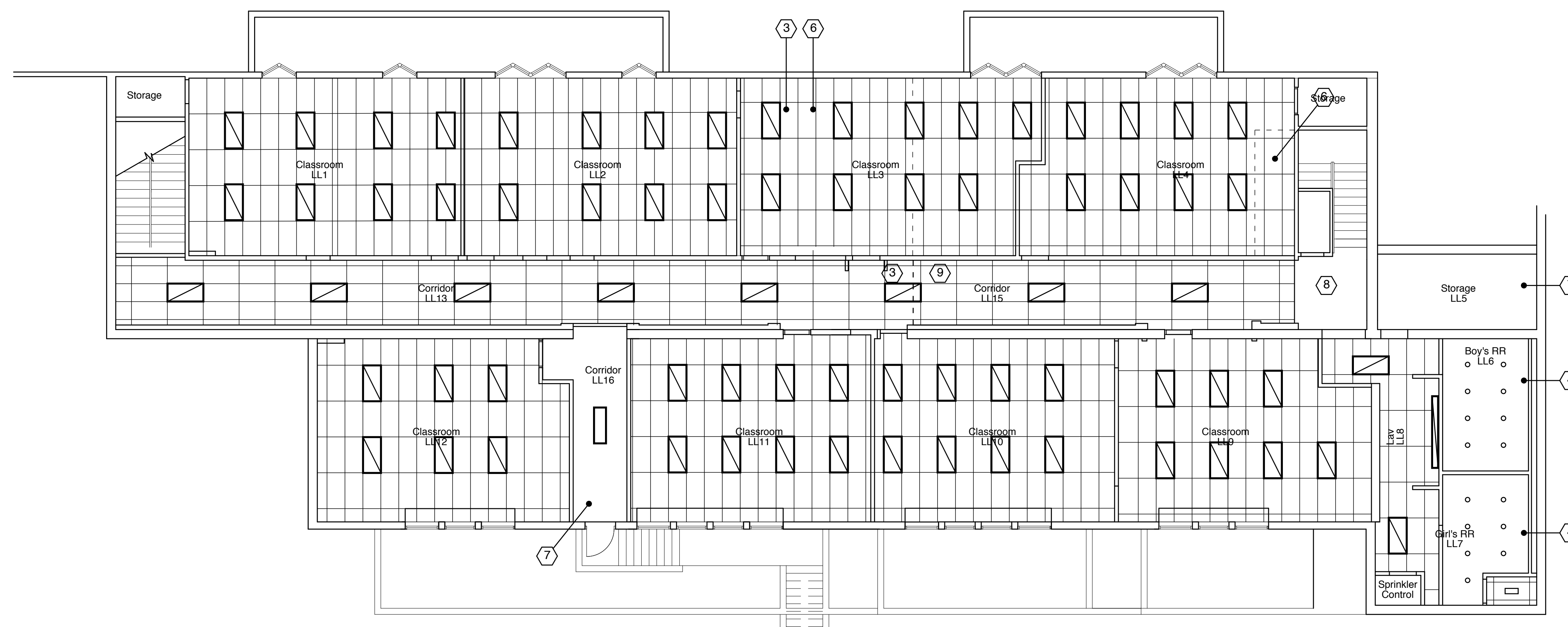


## Lower Level Power & Communications Plan

Scale: 1/8" = 1' - 0"

## Ceiling and Lighting Notes

1. All ceiling tile to be removed and discarded.
2. Existing suspended ceiling grid to remain unless noted otherwise. Repair as necessary and paint (white, semi-gloss).
3. Demolish existing gyp. board ceiling and install new suspended t-bar ceiling system as shown.
4. Remove existing ceiling grid. Construct gyp. board ceiling (8'-0" a.f.f.).
5. Install new 2' x 4' ceiling tiles throughout (all areas with t-bar suspended ceiling system: classrooms, corridors, restrooms unless otherwise noted, storage rooms, etc). 2' x 4' ceiling tiles to match new ceiling tiles in Aspen Academy, or approved equal.
6. Repair/extend ceiling grid at demolition. Install new light fixtures as shown.
7. No ceiling or lighting changes.
8. Existing gyp. board ceiling to remain.
9. Remove existing ceiling grid. Extend new corridor ceiling system (per Note #3).



## Lower Level Reflected Ceiling Plan

Scale: 1/8" = 1' - 0"

## Aspen Academy

5859 S. University Boulevard  
Greenwood Village, CO

### ISSUES/REVISIONS

Issued for owner review 22 February 2010

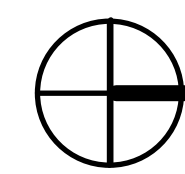
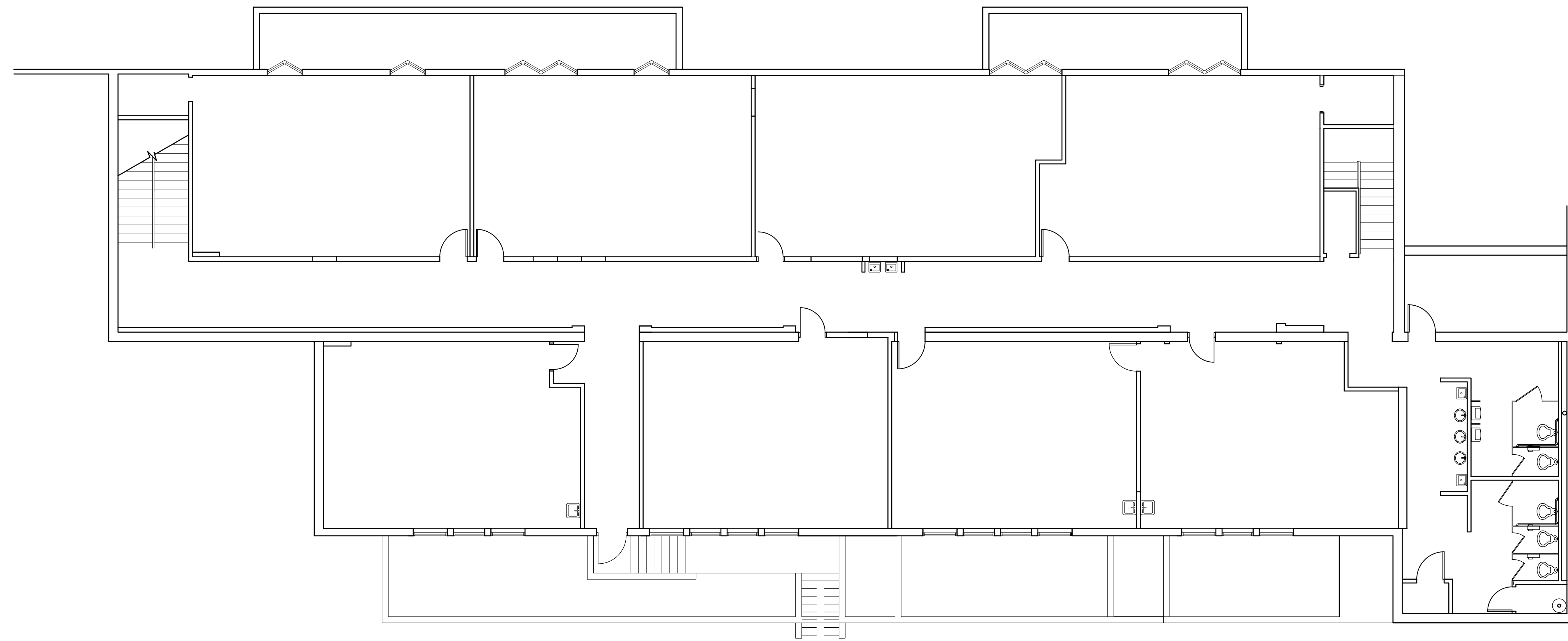
LOWER LEVEL REFLECTED CEILING PLAN  
LOWER LVL POWER & COMMUNICATIONS PLAN

PROJECT DIRECTOR Stephen Catterall

PROJECT NO. 91400

DATE January 26, 2010

SHEET NO. A.2.1



**Lower Level Finish Plan**

Scale: 1/8" = 1' - 0"

**Finish Notes**

- 1. All finishes (carpet, base, paint, tile) to match existing Aspen Academy classrooms. Specifications to be provided by Aspen Academy.
- 2. Gym walls to be painted to underside of ceiling grid.
- 3. Walls with 2 feet of urinals and water closets shall have a smooth, hard, non-absorbent surface, to a height of 4 feet above the floor, and accept for structural elements, the materials used in such walls shall be of a type that is not adversely affected by moisture.
- 4. The toilet room floors shall have a smooth, hard, non-absorbent surface that extends upward onto the walls at least 6".

**Aspen Academy**

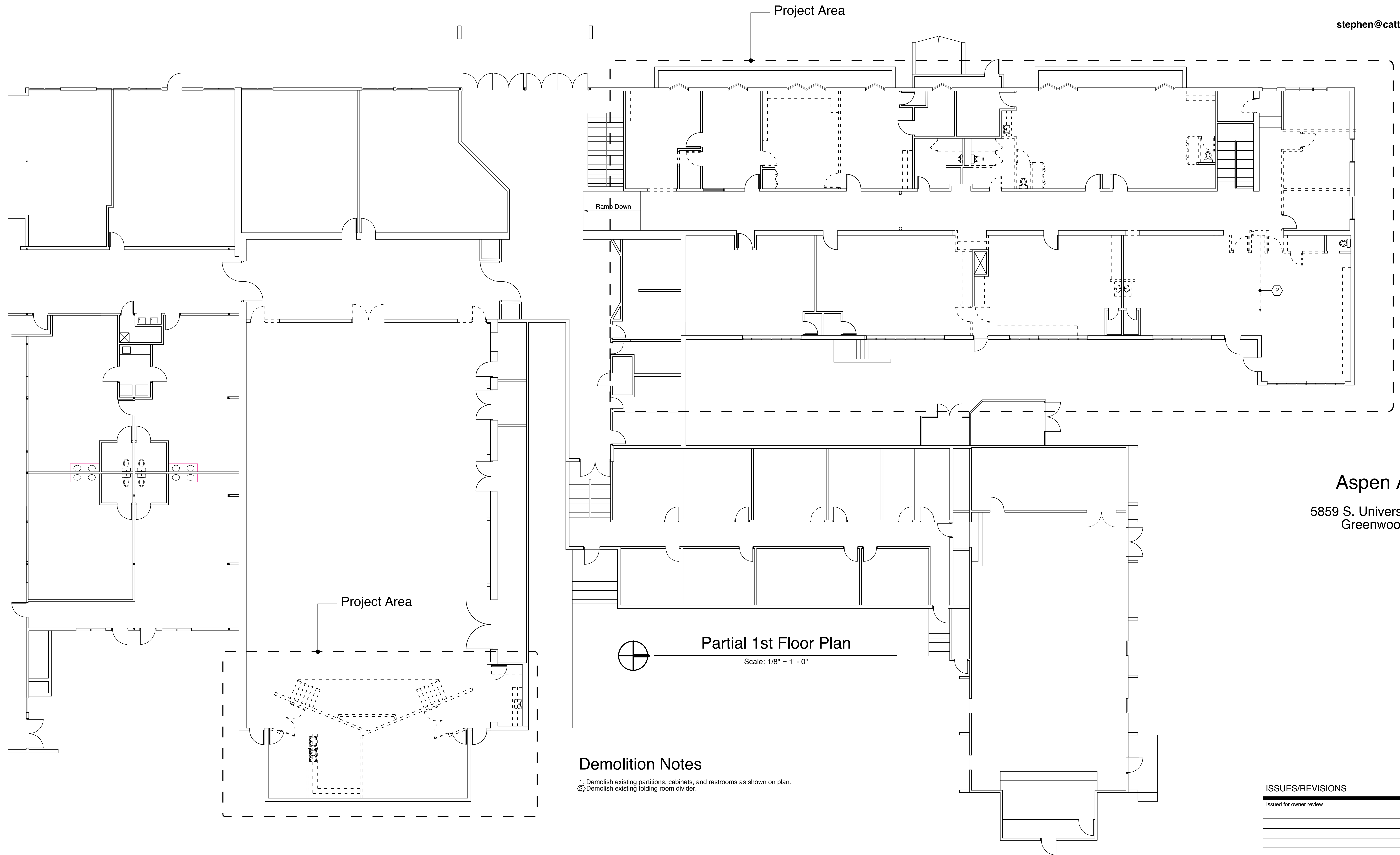
5859 S. University Boulevard  
Greenwood Village, CO

ISSUES/REVISIONS

NO.	DESCRIPTION

LOWER LEVEL FINISH PLAN

PROJECT DIRECTOR	Stephen Catterall
PROJECT NO.	91400
DATE	January 26, 2010
SHEET NO.	A.4.1



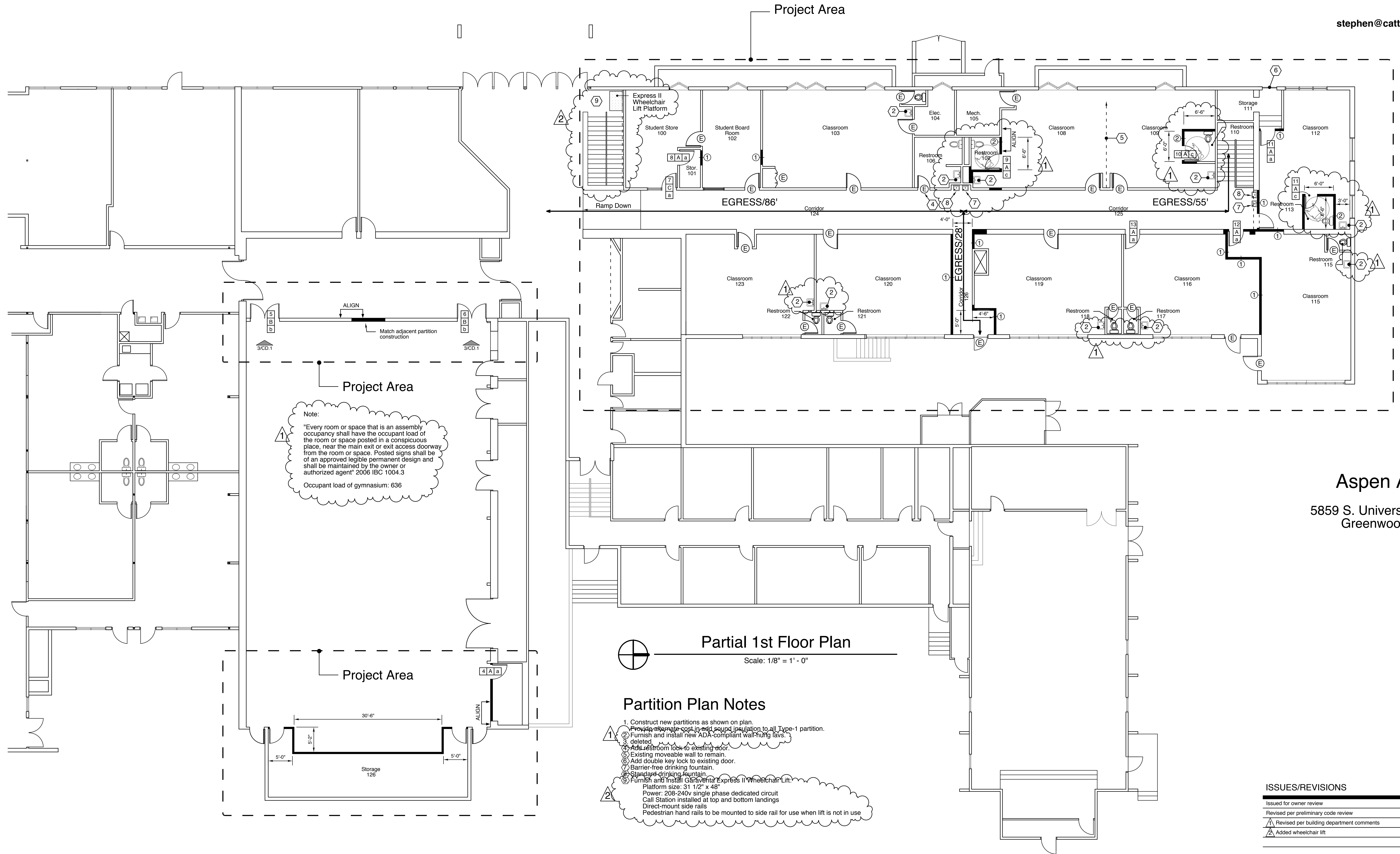
**Demolition Notes**  
 1. Demolish existing partitions, cabinets, and restrooms as shown on plan.  
 2. Demolish existing folding room divider.

**Aspen Academy**

5859 S. University Boulevard  
Greenwood Village, CO

ISSUES/REVISIONS	
Issued for owner review	22 February 2010

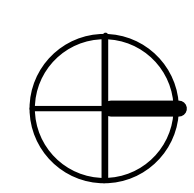
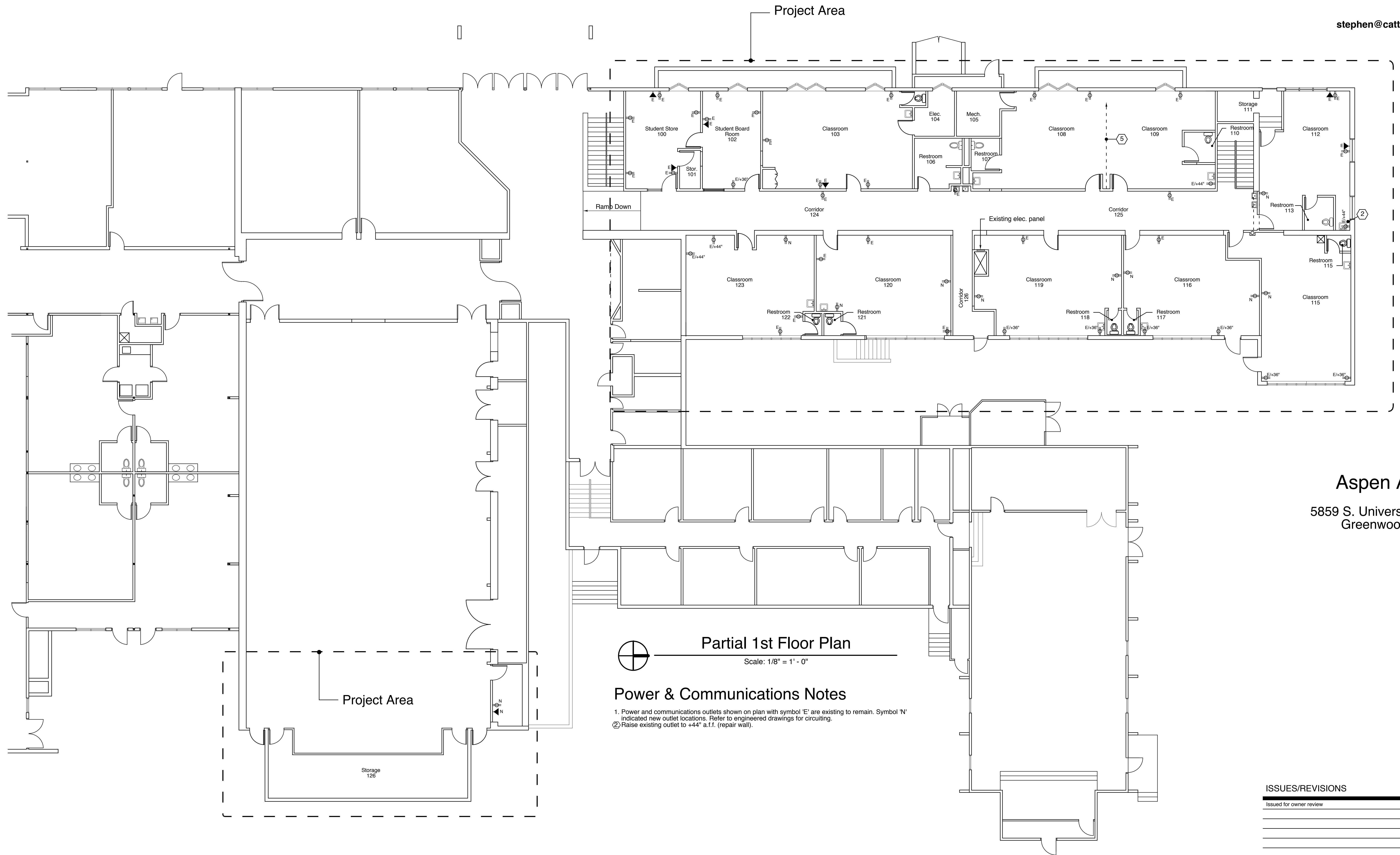
1ST FLOOR DEMOLITION PLAN	
PROJECT DIRECTOR	Stephen Catterall
PROJECT NO.	91400
DATE	January 26, 2010
SHEET NO.	A.0.2



**Aspen Academy**  
5859 S. University Boulevard  
Greenwood Village, CO

ISSUES/REVISIONS	
Issued for owner review	22 February 2010
Revised per preliminary code review	18 March 2010
Revised per building department comments	19 April 2010
Added wheelchair lift	17 May 2010

1ST FLOOR PARTITION PLAN	
PROJECT DIRECTOR	Stephen Catterall
PROJECT NO.	91400
DATE	January 26, 2010
SHEET NO.	A.1.2



**Partial 1st Floor Plan**

Scale: 1/8" = 1' - 0"

**Power & Communications Notes**

- 1. Power and communications outlets shown on plan with symbol 'E' are existing to remain. Symbol 'N' indicated new outlet locations. Refer to engineered drawings for circuiting.
- 2. Raise existing outlet to +44" a.f.f. (repair wall).

**Aspen Academy**

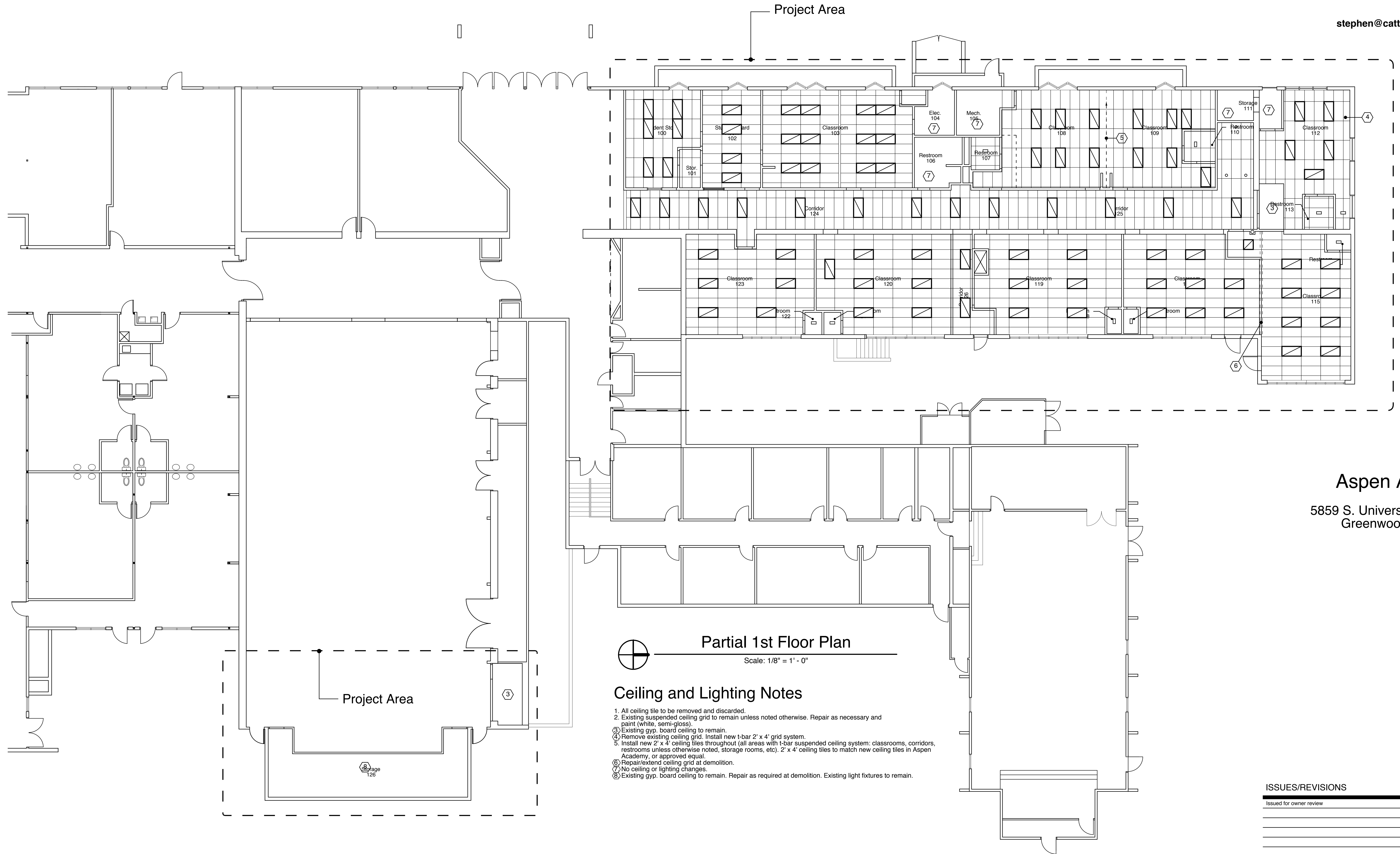
5859 S. University Boulevard  
Greenwood Village, CO

**ISSUES/REVISIONS**

Issued for owner review 22 February 2010


**1ST FLOOR POWER & COMMUNICATIONS PLAN**

<b>PROJECT DIRECTOR</b>	Stephen Catterall
<b>PROJECT NO.</b>	91400
<b>DATE</b>	January 26, 2010
<b>SHEET NO.</b>	A.2.2



**Aspen Academy**

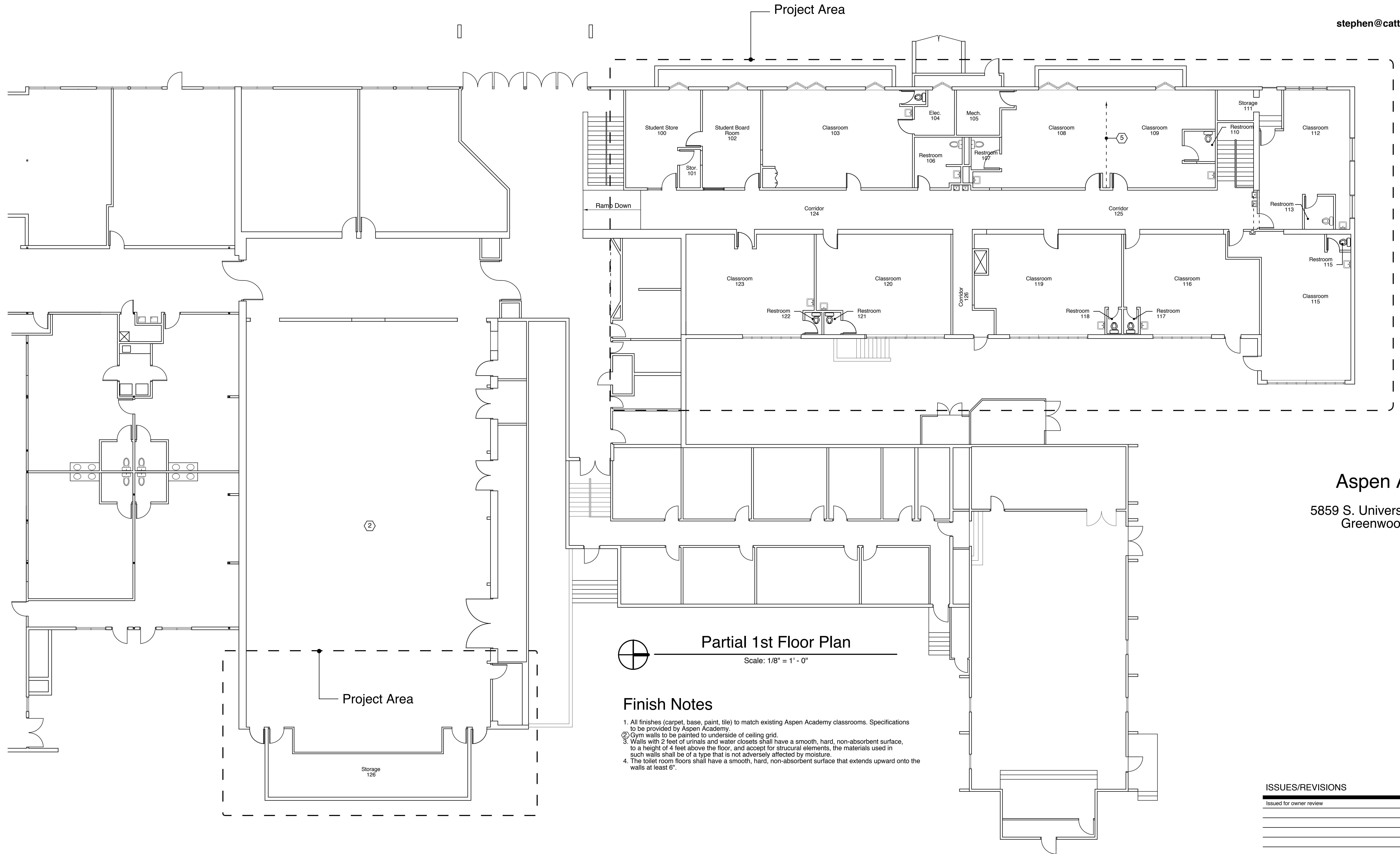
5859 S. University Boulevard  
Greenwood Village, CO

**ISSUES/REVISIONS**

Issued for owner review 22 February 2010


**1ST FLOOR REFLECTED CEILING PLAN**

<b>PROJECT DIRECTOR</b>	Stephen Catterall
<b>PROJECT NO.</b>	91400
<b>DATE</b>	January 26, 2010
<b>SHEET NO.</b>	A.3.2



**Aspen Academy**

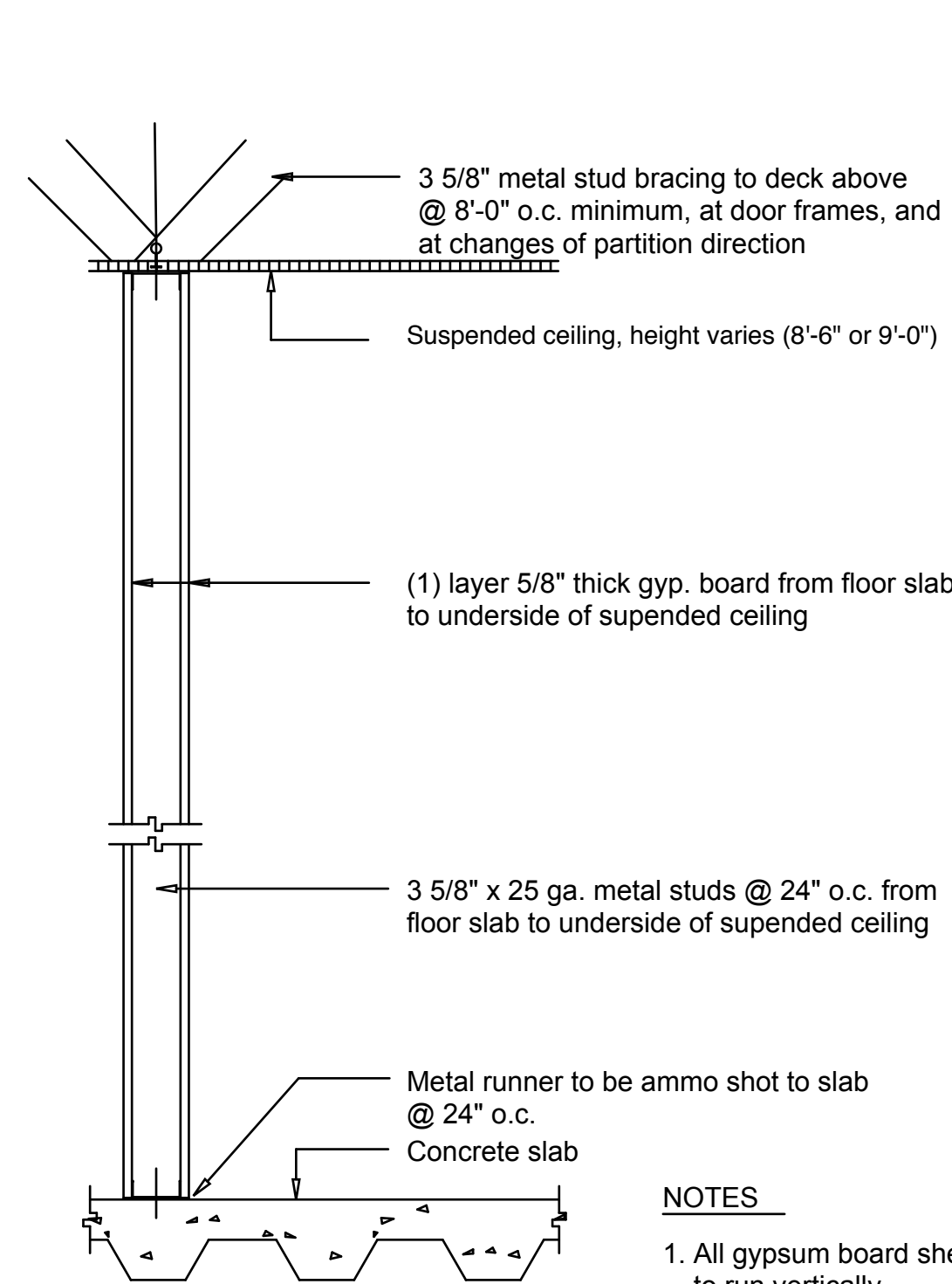
5859 S. University Boulevard  
Greenwood Village, CO

**ISSUES/REVISIONS**

Issued for owner review 25 February 2010


**1ST FLOOR FINISH PLAN**

<b>PROJECT DIRECTOR</b>	Stephen Catterall
<b>PROJECT NO.</b>	91400
<b>DATE</b>	January 26, 2010
<b>SHEET NO.</b>	A.4.2

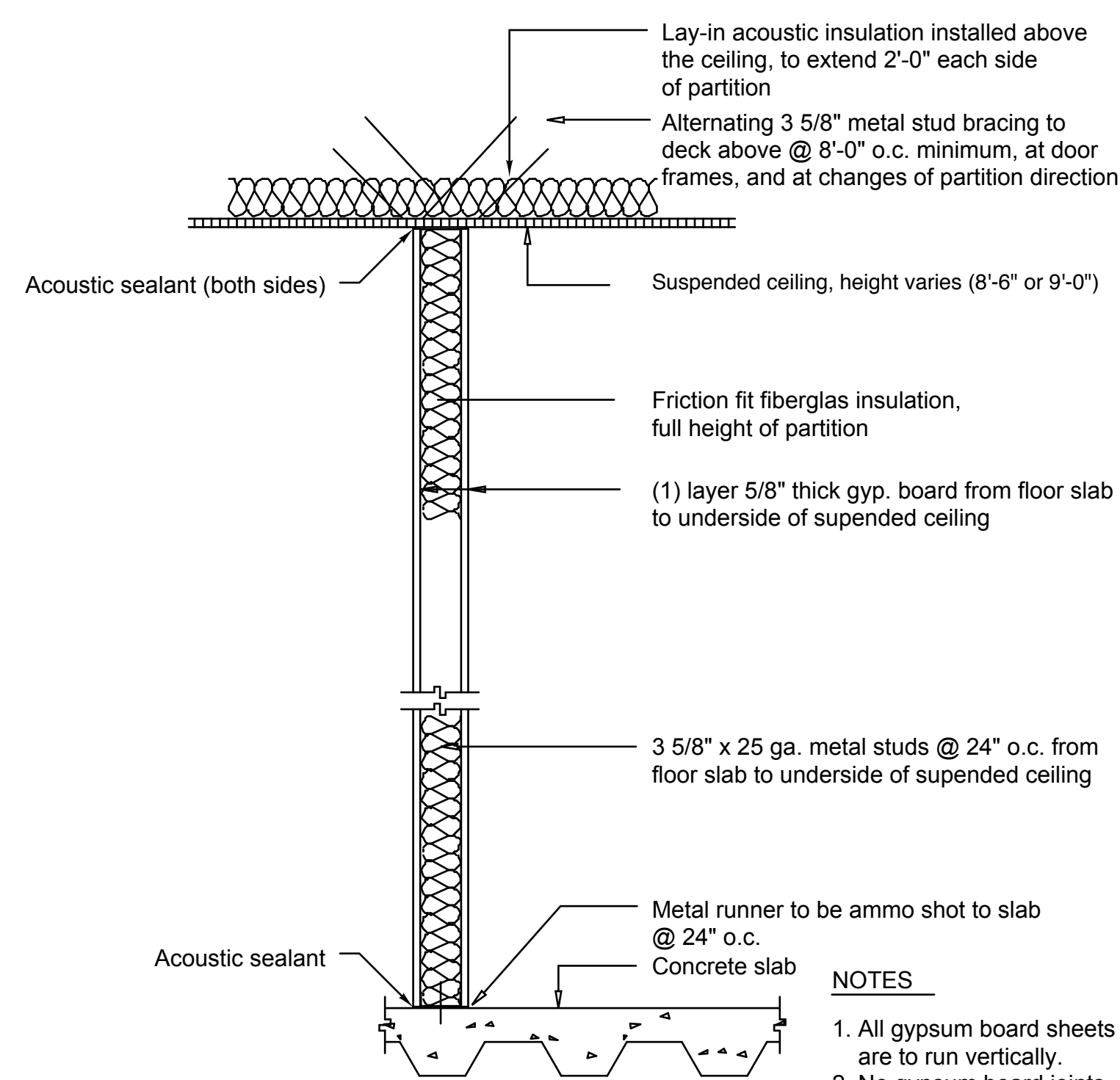


**NOTES**

1. All gypsum board sheets are to run vertically.
2. No gypsum board joints except at studs.

**1** STANDARD PARTITION DETAIL

Scale: None



**NOTES**

1. All gypsum board sheets are to run vertically.
2. No gypsum board joints except at studs.

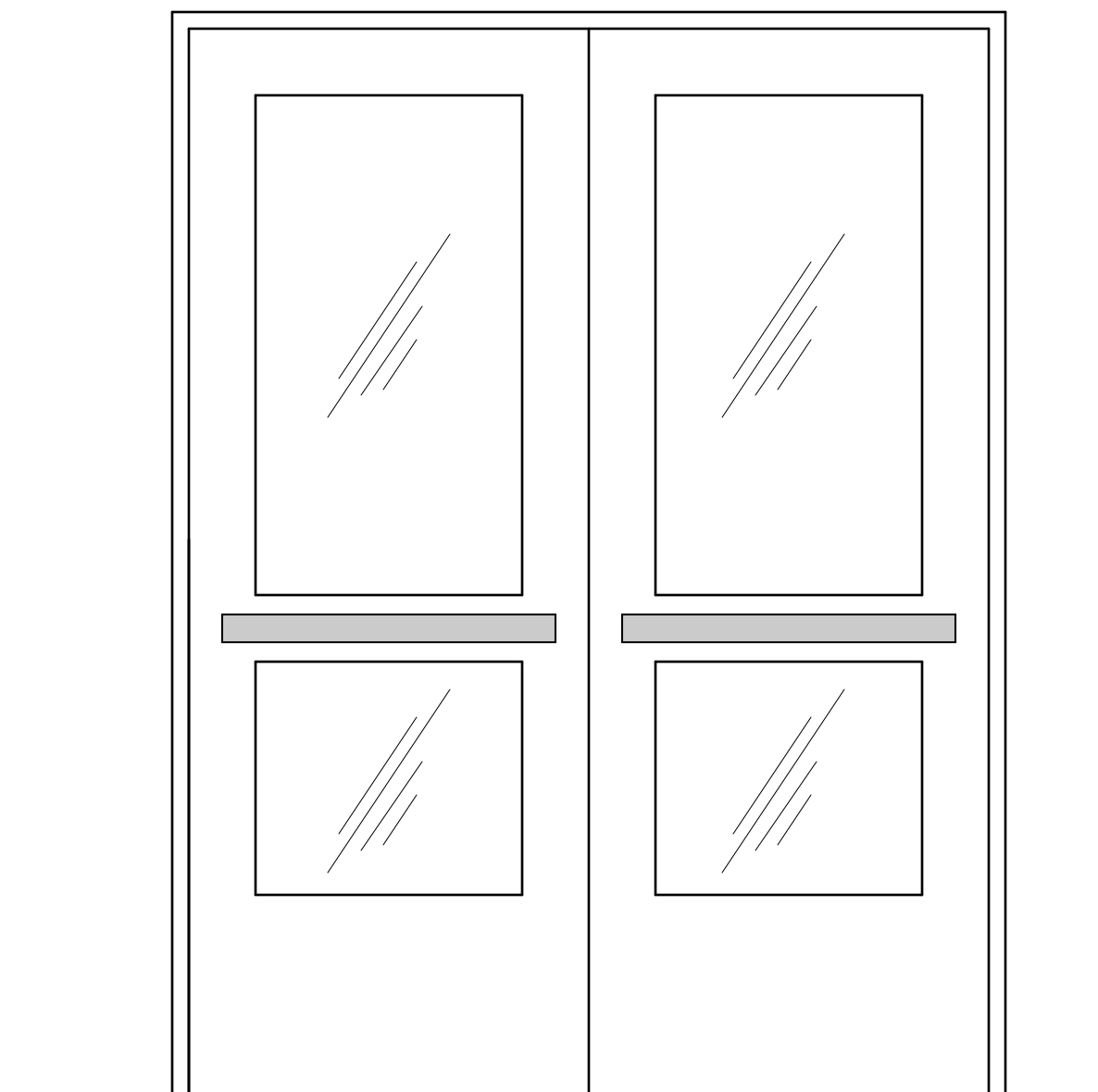
**2** ACOUSTIC PARTITION

Scale: None



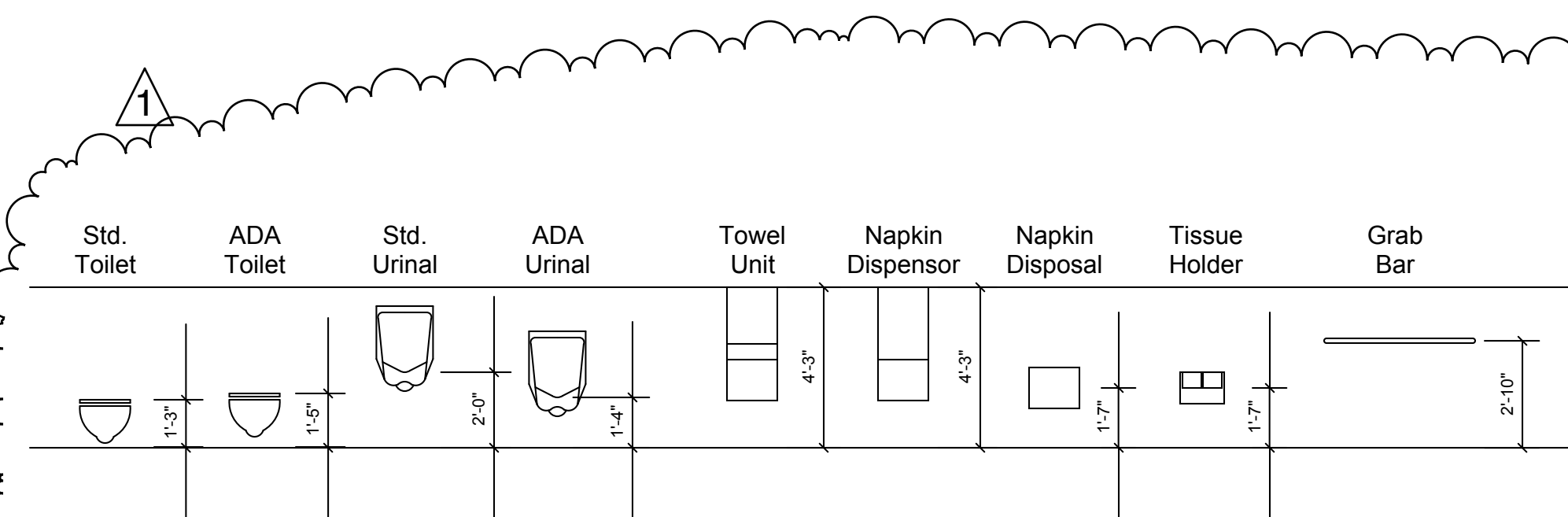
Pair of 3'-0" x 8'-0" solid core wood doors with tempered glass inserts.

Provide panic bars.



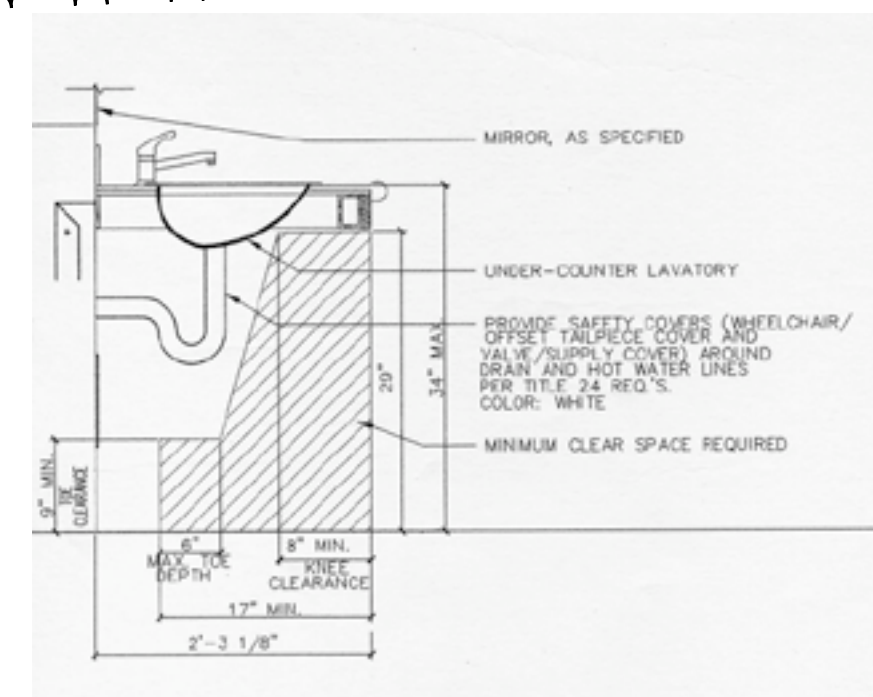
**3** ELEVATION: GYM. DOORS

Scale: None



**4** Typical Fixture and Accessory Installation Heights

Scale: 1/4" = 1'-0"



**5** ADA Clearance Requirements @ Lav

Scale: None

## Aspen Academy

5859 S. University Boulevard  
Greenwood Village, CO

**ISSUES/REVISIONS**

Issued for owner review	22 February 2010
Revised per building department comments	19 April 2010

**CONSTRUCTION DETAILS & ELEVATIONS**

PROJECT DIRECTOR	Stephen Catterall
PROJECT NO.	91400
DATE	January 26, 2010
SHEET NO.	CD.1